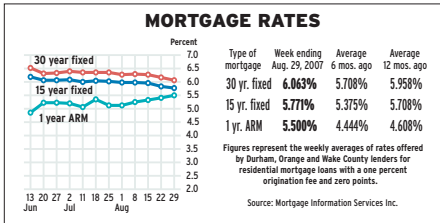


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Regular Classifieds start inside.

Real Estate

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NEWSMAKERS

Jeffrey Milligan, senior vice president of **Landquest**, has announced that **Landquest Legacy**, a division of Landquest specializing in the development and beautification of cemetery properties throughout the Southeast, has purchased Oak Grove Memorial Gardens for renovation and development. The 72-acre partially developed cemetery is located off of Cheek Road in Durham. Fifteen acres of the property have previously been developed with 125 burials annually. The cemetery will hold an additional 250 years of inventory. The master renovation plan includes landscaping, water features, mausoleums, and expert maintenance. Oak Grove Memorial Gardens is one of four cemetery properties in the Triangle owned by Landquest Legacy.



Roger Bernholz, sales manager of **Coldwell Banker Howard Perry and Walston Chapel**

Hill office, has announced that **Kevin Flaherty** has joined the firm. Flaherty has experience as an in-home family counselor as well as a special education teacher. He graduated from Taylor University in Indiana, with a bachelor of arts in psychology. He resides in Durham with his wife, Devon, and daughter, Windsor.

HANDYPERSON

Some older homes may have lead paint in interior walls

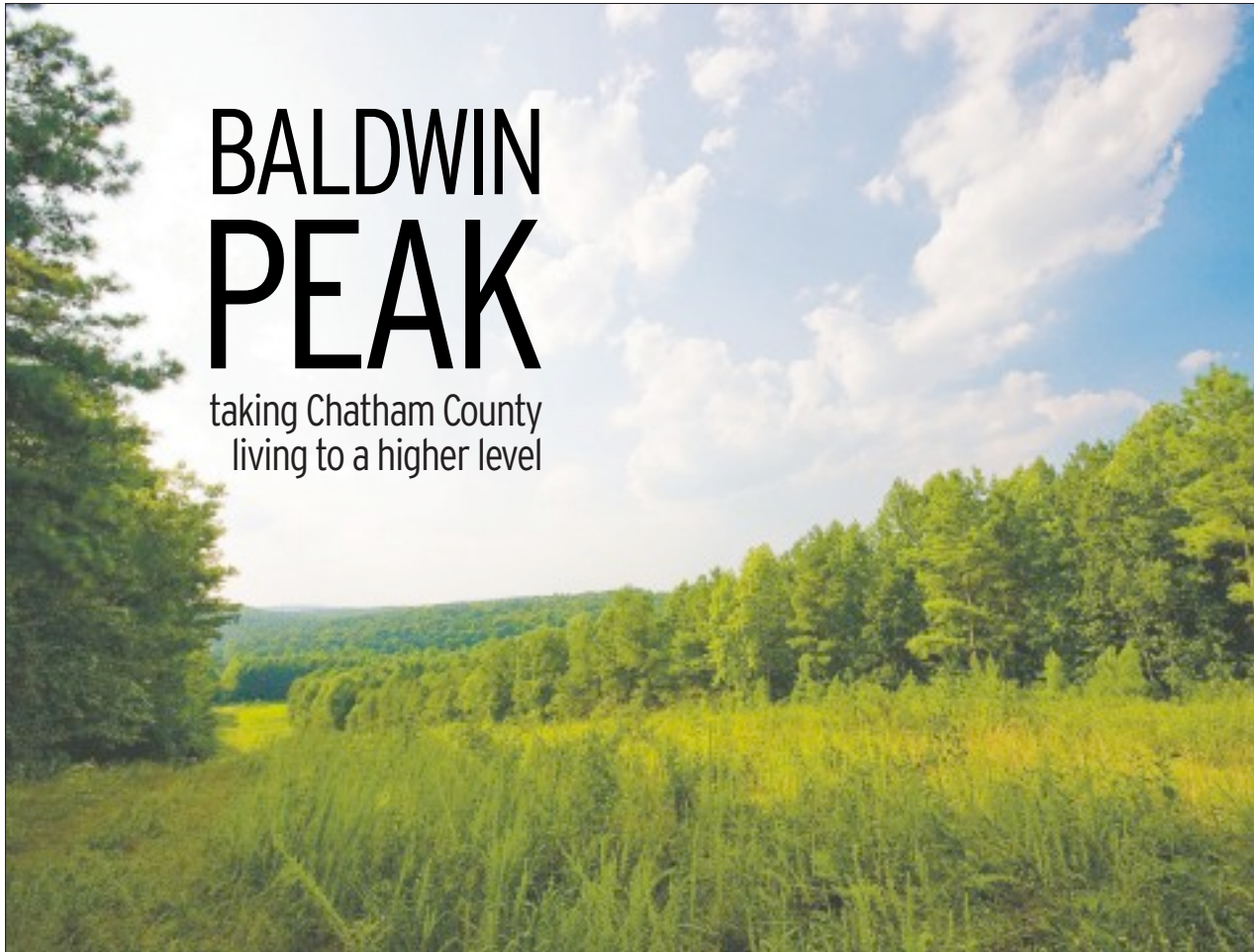
Dear Mr. HandyPerson: Your column has given me many useful hints and a few laughs, too!

I'm buying a 1937 bungalow with the original plaster walls and coved ceilings. Before I move in, I would like to wash the walls and ceilings and paint. Are there any special products I should use for these tasks? I prefer to use "green" products for cleaning and painting. — Nancy, Nevada City, Calif.

Dear Nancy: If the plaster and paint are in generally good condition, there is no need to do all that wall and ceiling washing before painting. Walls and ceilings painted with flat paint can be repainted as is, though you will want to first patch and prime any significant holes or cracks.

For painted woodwork and rooms like kitchens or bathrooms that are usually painted with semi-gloss or gloss paint, Mr. HandyPerson usually recommends washing with TSP (trisodium phosphate) powder

SEE HANDY, PAGE 3B



BALDWIN PEAK

taking Chatham County living to a higher level

The Baldwin Peak development will be a private, gated community, situated on the highest peak in the Baldwin Township.

By LEA HART
CORRESPONDENT

Turnberry Development's President, Marty Baum, knows the demand exists for true estate home lots on the 10-acre scale.

So, when he discovered 302 acres with views for miles nestled between highways 15-501 and 64 in northern Chatham County, he knew he had a winning combination. Turnberry conducted market research and individual surveys and found "people just fell in love with it," Baum said.

The Baldwin Peak development will be a private, gated community, situated on the highest peak in the Baldwin Township. Rising to 610 feet above sea level, Baum said the home sites will offer spectacular views. With only 28 lots for sale, each lot will be a minimum of 10 acres.

"We are really the only true estate community anywhere around that I know of," Baum said.

Turnberry has just begun taking reservations for Baldwin Peak and plans are to break ground on the development's roads at the end of September. It will be about three months before construction begins on the first home, according to Baum.

The development's theme, "serenity in a park-like setting," will be obvious in heavily wooded lots that offer a very private living experience. Homes will not be visible from the road and covenants will be restrictive in terms of set backs and tree clearing.

Lots in Baldwin Peak start at \$600,000, while homes are expected range in size

SEE BALDWIN PEAK, PAGE 3B



The development's theme, "serenity in a park-like setting," will be obvious in heavily wooded lots that offer a very private living experience.

CONTRIBUTED PHOTOS

Ease the stress of making a move

UNIVERSAL PRESS SYNDICATE



Ellen James Martin

Mark Nash knows that a housing transition can be an overwhelming process — all the way from the initial decision to sell to the packing and moving.

As a Coldwell Banker broker and author of several real estate books, he's been advising clients and readers for more than 10 years. But until this year, when he resolved to sell the 3,200-square-foot house he owned in a premier Chicago neighborhood, Nash didn't experience how grueling a housing move

can be.

"Friends told me to swallow some of my own medicine after all those years telling clients not to sweat a move," he says. "The change was daunting; I was sick to my stomach a lot of the time."

Through firsthand experience, Nash and other veteran real estate agents have developed valuable suggestions for coping with the wrenching emotions of a sale and a move.

Feeling rankled by the intensity of urban living, Nash first decided to sell his Chicago house five months ago.

"All that traffic noise and those sirens were

SEE SMART, PAGE 2B



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PEAK

CONTINUED FROM PAGE 1B

from 5,000 sq. ft. and will reach the \$2 million price point and above.

Located on Bynum Ridge Road and about two miles from Fearington Village, Baum believes Baldwin Peak offers a location that is convenient to many locations in the Triangle.

In an area experiencing significant growth, with new developments that include The Preserve at Jordan Lake and Briar Chapel, Baum said, "we're basically right in the center of all the activity."

Turnberry has a reputation for developing small, niche communities that offer unique home site settings. In addition to Baldwin Peak, Turnberry has worked on several communities in Beaufort and Emerald Isle.

In planning Baldwin Peak, Baum, and Turnberry vice president, Nick Leb, have compiled a team that includes six custom builders, engineers, realtors, and others.

A key member of that team will be Gwen Bowers, vice president of Re/Max Southern Advantage in Pittsboro, who will head up sales.

Bowers said Baldwin Peak is unique in that it offers both privacy and community. While residents will feel they are part of a neighborhood, they will also have complete privacy on their own property.

"Baldwin Peak is just a completely different niche," she said.

Bowers feels the development is ideal for people who want to escape to their own private world. With 10+ acre lots, they may choose to put in their own pool or tennis court, for example.

With years of experience in the area, Bowers said the Triangle is ripe for this sort of development.

"The Triangle area has such a diverse mix of people from all over the world," she said.

Bowers said executives who might buy in Baldwin Peak are looking for their place "to get away."

John Choate, president of Choate Custom Homes, one of the six builders selected to build at Baldwin Peak, is ready to work with the homeowner to build that perfect getaway.

Choate Custom Homes has a 20-year history in Michigan. About five years ago, Choate began looking around the country for areas to expand the business. North Carolina was selected based on the growth in the area and the quality of life.

Choate was involved with another Pittsboro-area development when he heard about Baldwin Peak. He was interested in the uniqueness of the property and the 10+ acre concept.

"Typical estate lots in the area are between one acre and five acres," he said. "Baldwin Peak offers the opportunity to build a true estate."

Choate Custom Homes, a green builder, takes a "Life Centric" approach to building - a trademarked term in which the builder strives to design a home that melds to each individual family's lifestyle. Plans take into account everything from the size of the family down to where they prefer to plug in their cell phones, he said.

They also offer a woman-centric approach, he said. Research has shown that women make the majority of the decisions in designing a new home, according to Choate, so Choate Custom Homes offers homes designed by women, for women. Considerations range from how much women entertain to how they relieve stress to their storage needs.

In Baldwin Peak, in particular, the goal will be to provide all homeowners with "spectacular views," while also maximizing their privacy, Choate said. From the design of the home to the driveway, entrance, facade and landscaping, Choate said each home will be customized to each individual family.

scaping, Choate said each home will be customized to each individual family.

For Baldwin Peak, Choate said, "the sky's the limit."

"We've never built the same home twice," he said. "There is nothing that our homeowners can ask for that we would say, no, that's not possible."

Baldwin Peak is unique in that it offers both privacy and community. While residents will feel they are part of a neighborhood, they will also have complete privacy on their own property.

GWEN BOWERS

RE/MAX SOUTHERN ADVANTAGE



HANDY

CONTINUED FROM PAGE 1B

mixed with warm water, followed by a rinsing with clear water. This normally "roughens" the surface of the paint enough that it will not need to be sanded or primed before repainting with good-quality latex paint. But for a less caustic approach, you could use a solution of white vinegar and warm water (about one part vinegar to three parts water) in a spray bottle with clean rags and a nylon scrubber sponge to remove grease, smoke film or fingerprints. Rinse cleaned areas with another clean rag dampened in warm water.

With this "gentler" cleaning process, to make new paint adhere to the old gloss or semi-gloss paint, some gentle sanding with fine-grit sandpaper or medium steel wool (No. 00 or No. 000) will probably be needed. The problem here (because real life is always complicated, isn't it?) is that any significant sanding or paint scraping in a 1937 house is almost certain to expose some amount of lead-based paint somewhere, even if it's been painted over repeatedly with latex-based paints. So if most of the paint is in generally good condition (not peeling or flaking off or excessively cracked or "alligatored"), it would be less labor-intensive and potentially safer to use the TSP solution to clean gloss or semi-gloss painted woodwork and surfaces. It does not produce particularly noxious or harmful fumes (though good ventilation should be part of both the cleaning and repainting process in any event). The main precaution in using TSP is to protect your hands and skin with rubber gloves and long sleeves because it is extremely drying.

It seems probable to Mr. HP that your home was painted inside and out to give it the best appearance when put on the market prior to your buying it. But if there are any painted areas that are in obvious need of work with peeling and cracking paint (or if there are large cracks in the

plaster that need to be scraped out, patched, sanded and primed before painting), it would be prudent for you to have paint chips from those areas tested for lead content. Your local city hall will probably have information about lead testing and local regulations about the removal, handling and disposal of painting debris with lead content. Some places now require special training and licensing for contractors doing any kind of lead abatement, and some local regulations may require homeowners to use a licensed lead-abatement professional if leaded paint will be exposed or removed during the painting process.

If you are lucky, you may only need to spackle a few minor nail holes or hairline cracks, do a little wall and woodwork washing where gloss or semi-gloss paints have been used, and then proceed with painting. But if some areas (or worse, many areas) need extensive prep work - paint scraping and sanding - you are better off knowing if you are or will be exposed to lead from older paint.

It's almost certain that leaded paints were used on your older home before they were prohibited in the 1970s. However (don't panic!), the mere presence of leaded paint in your home does not, by itself, pose much of a hazard. It becomes hazardous when it is disturbed either from peeling and flaking, or from scraping, sanding or doing other kinds of remodeling. Consequently, even if the current paint is in excellent condition and you can proceed with repainting, Mr. HP would recommend that you have some random paint chips tested for the presence of lead so that you can take appropriate safety precautions before future repair projects and potential remodeling.

Mr. HandyPerson wants to hear of home repair matters that are troubling you, interesting questions, funny experiences and useful tips you might want to share with other readers. Write to: Mr. HandyPerson, c/o Universal Press Syndicate, 4520 Main Street, Kansas City, Mo. 64111.

*If you are a real estate professional and have news you would like to share, please send e-mail to renotes@newsobserver.com.
Is there a topic you would like to see featured in the Real Estate section? E-mail your thoughts to recomments@newsobserver.com.*